

Parking

Loading / Waste

2000

PROPOSED BUILDING
DEVELOPMENT
PODIUM

ACCURATE
OPTICAL SVC

2000

1000

2800

1000

LINE OF CANOPY ABOVE

SETBACK
LINE
PROPERTY
LINE

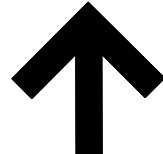
1000

17000

123 STREET

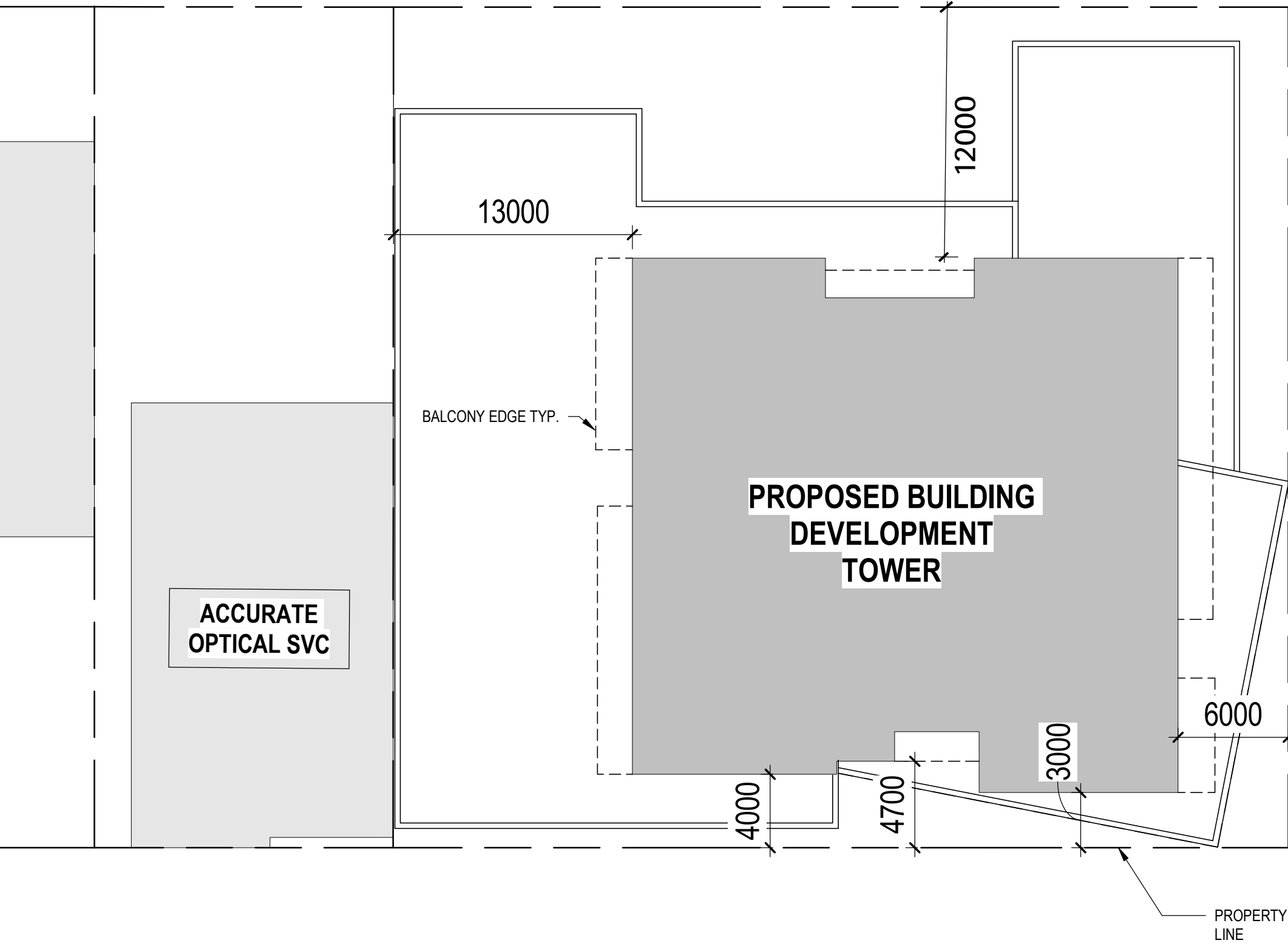
THE OLIVER RESIDENCES

PROJECT
NORTH

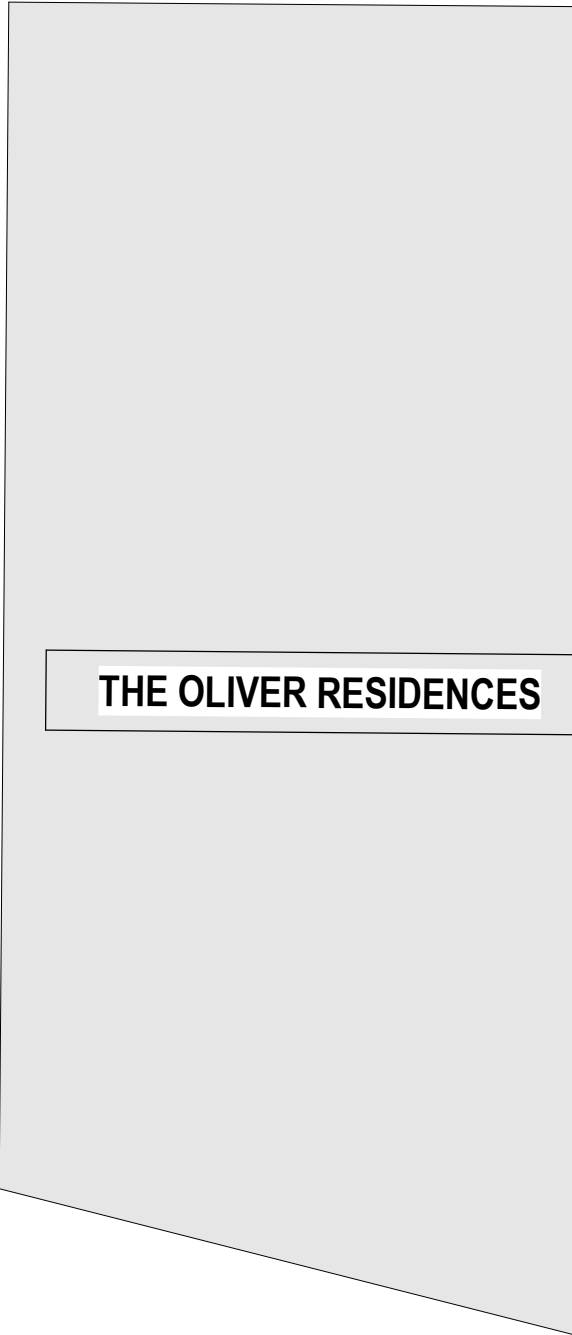


JASPER AVENUE

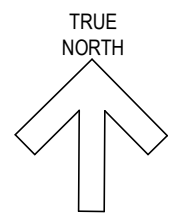
Appendix 1
Site Plan
Podium Setbacks



123 STREET



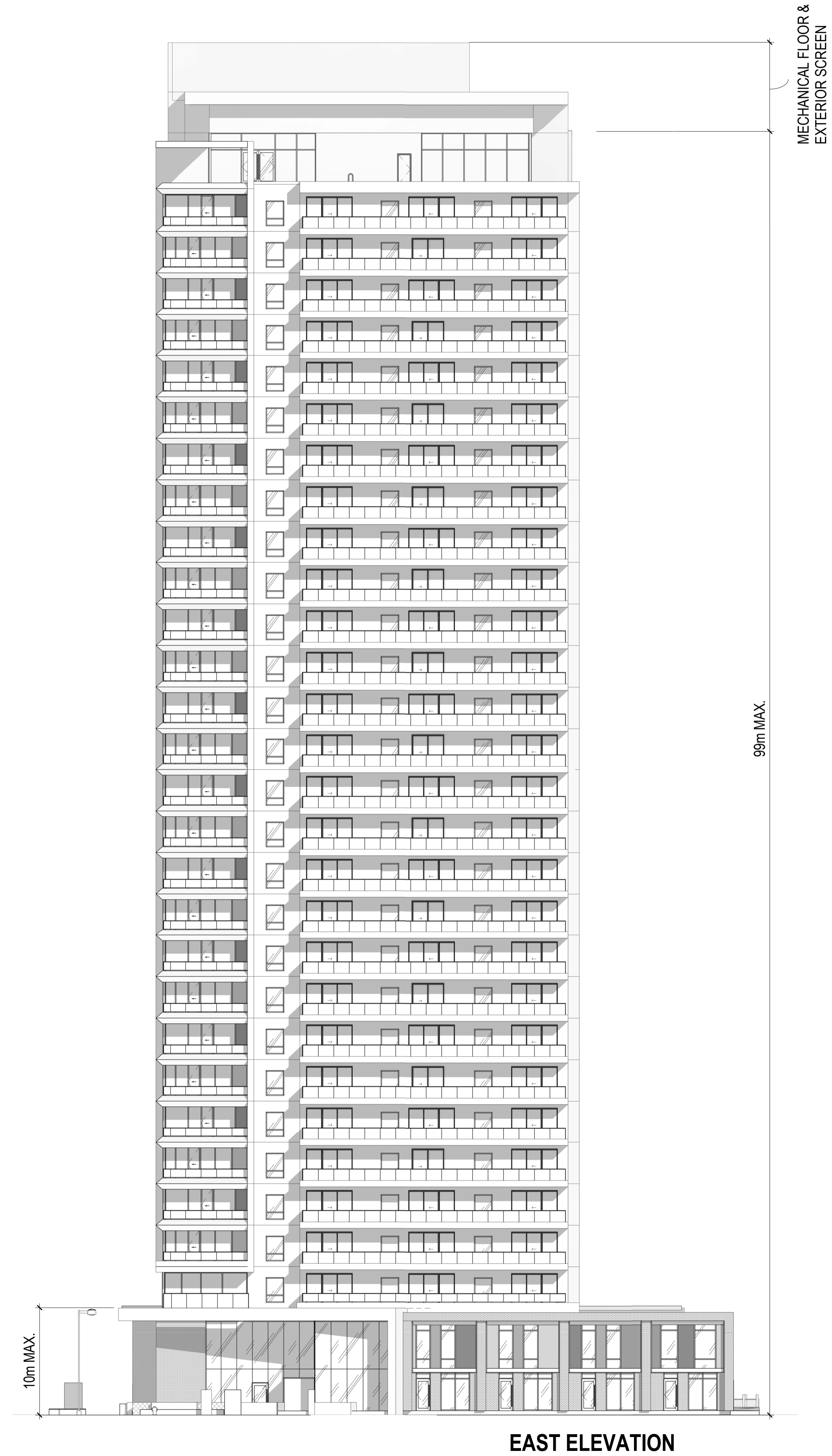
THE OLIVER RESIDENCES



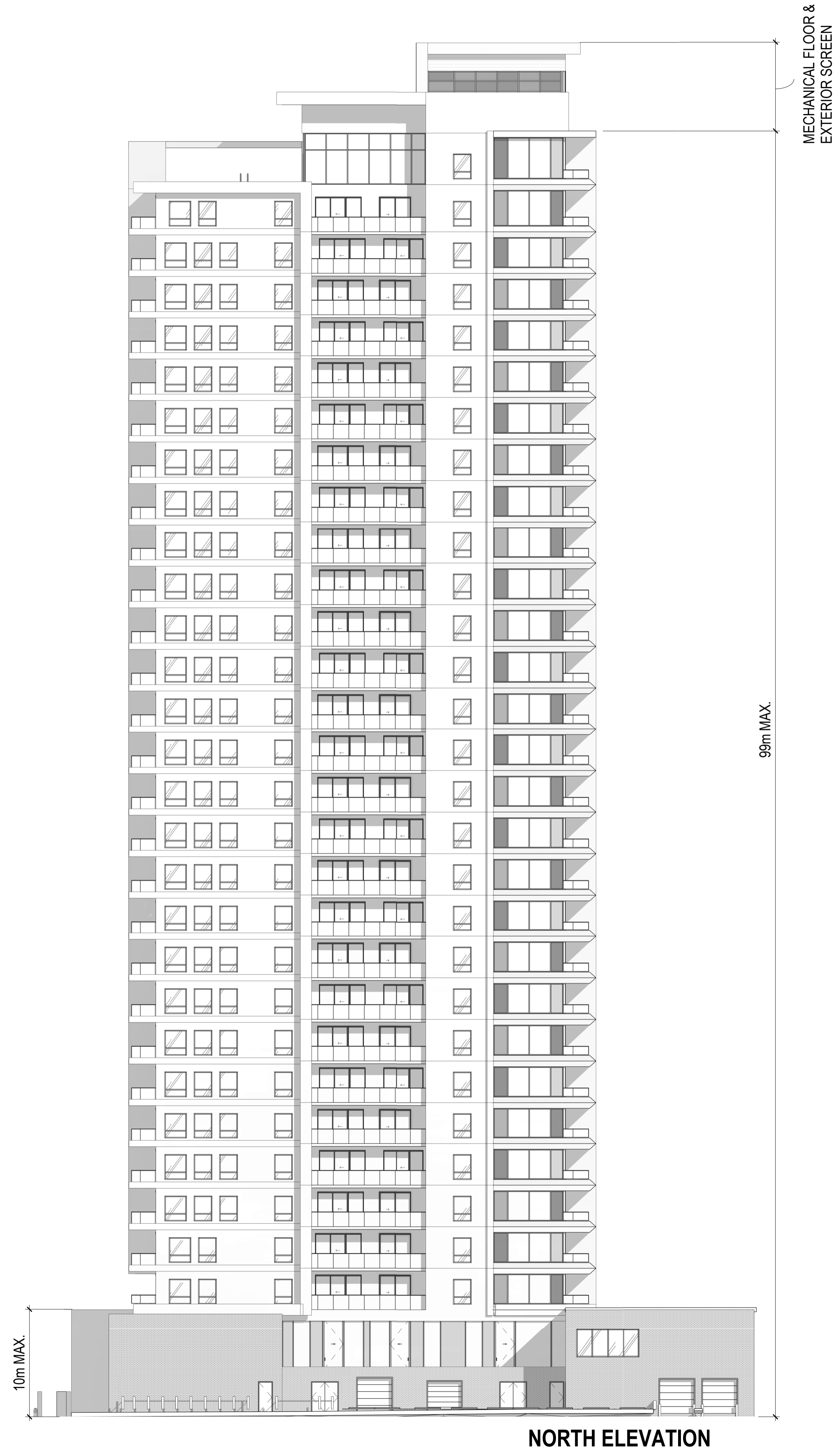
JASPER AVENUE

**Appendix 2
Site Plan
Tower Setbacks**

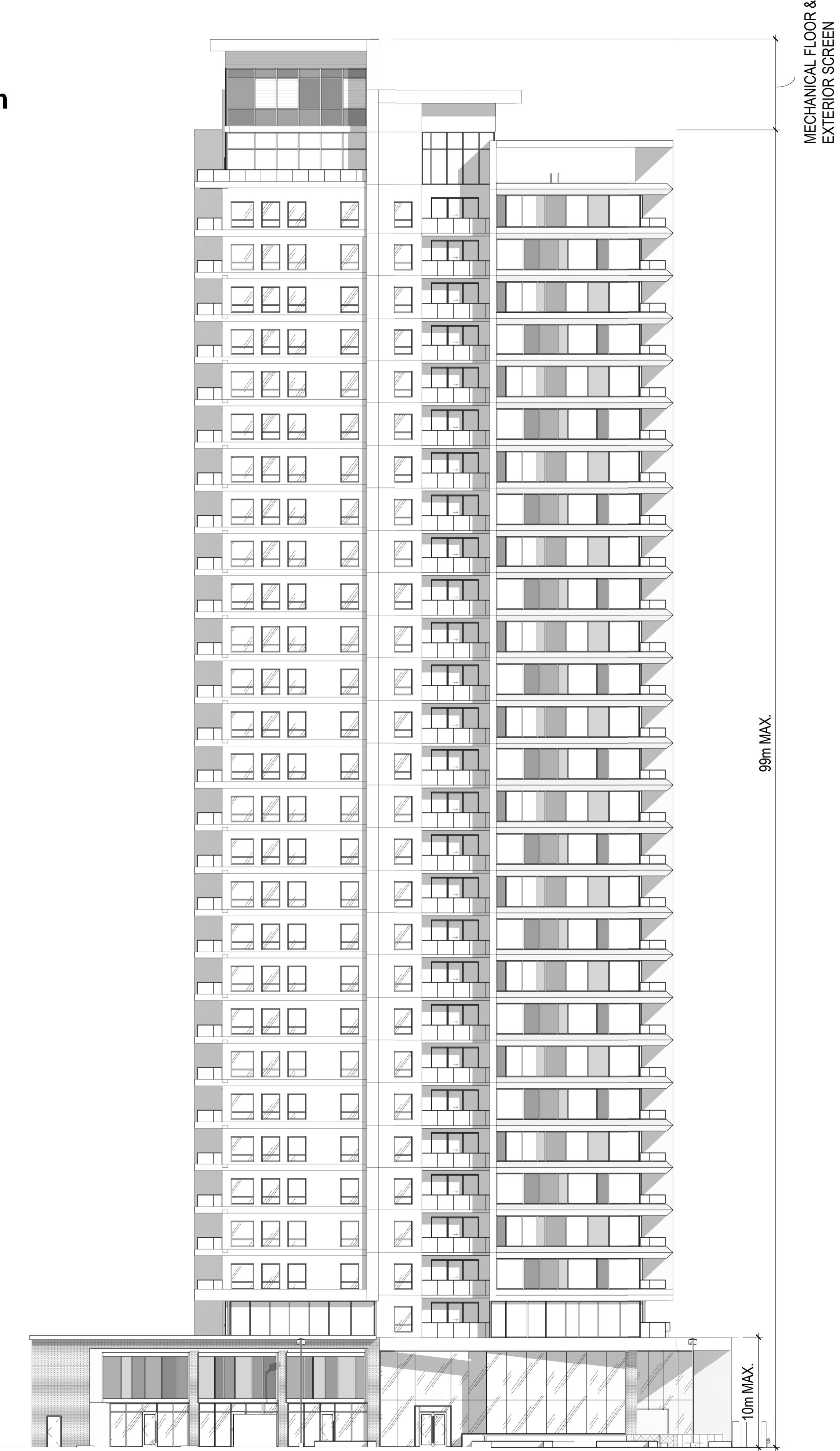
**Appendix 3
East Elevation**



**Appendix 3
North Elevation**



**Appendix 3
South Elevation**



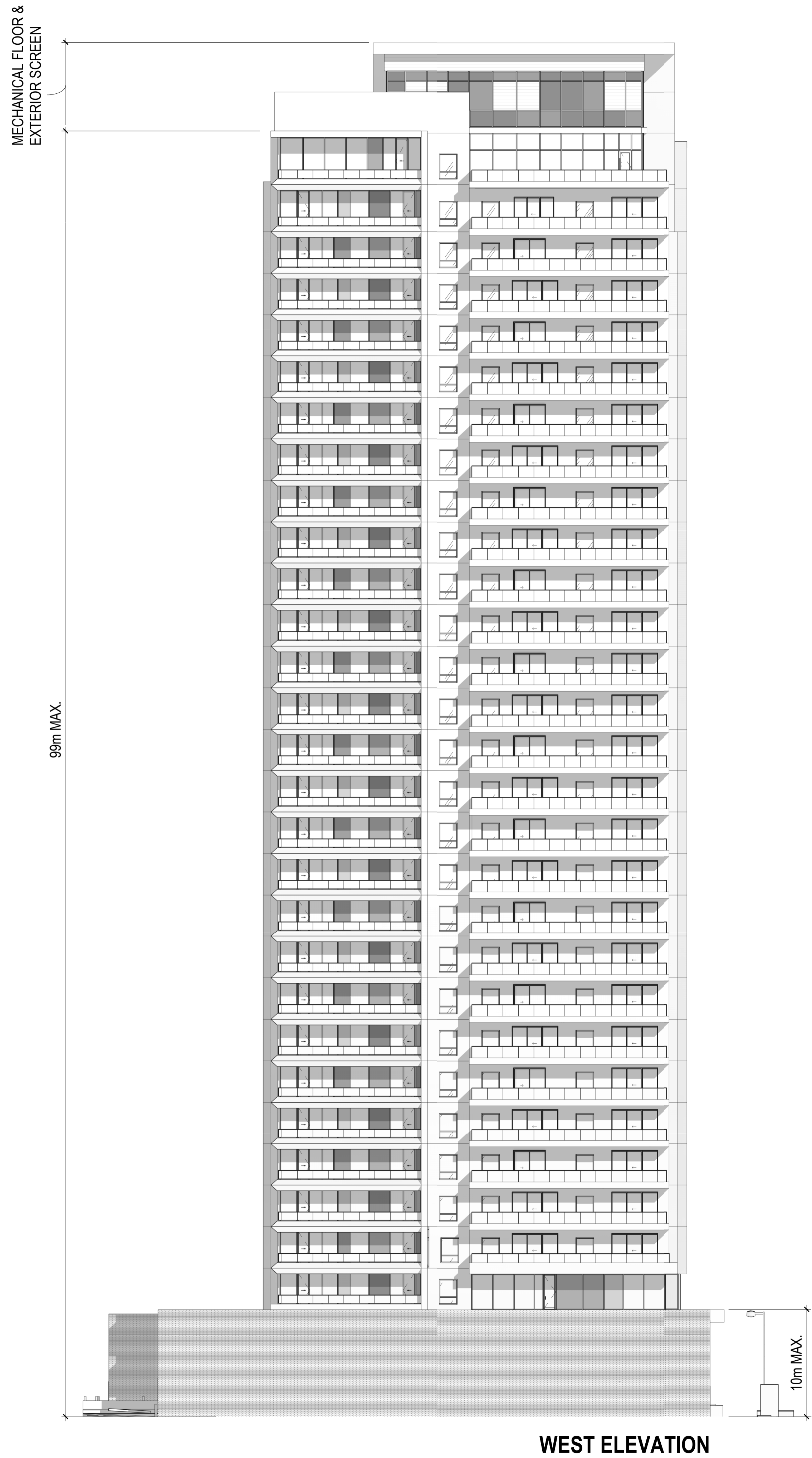
MECHANICAL FLOOR &
EXTERIOR SCREEN

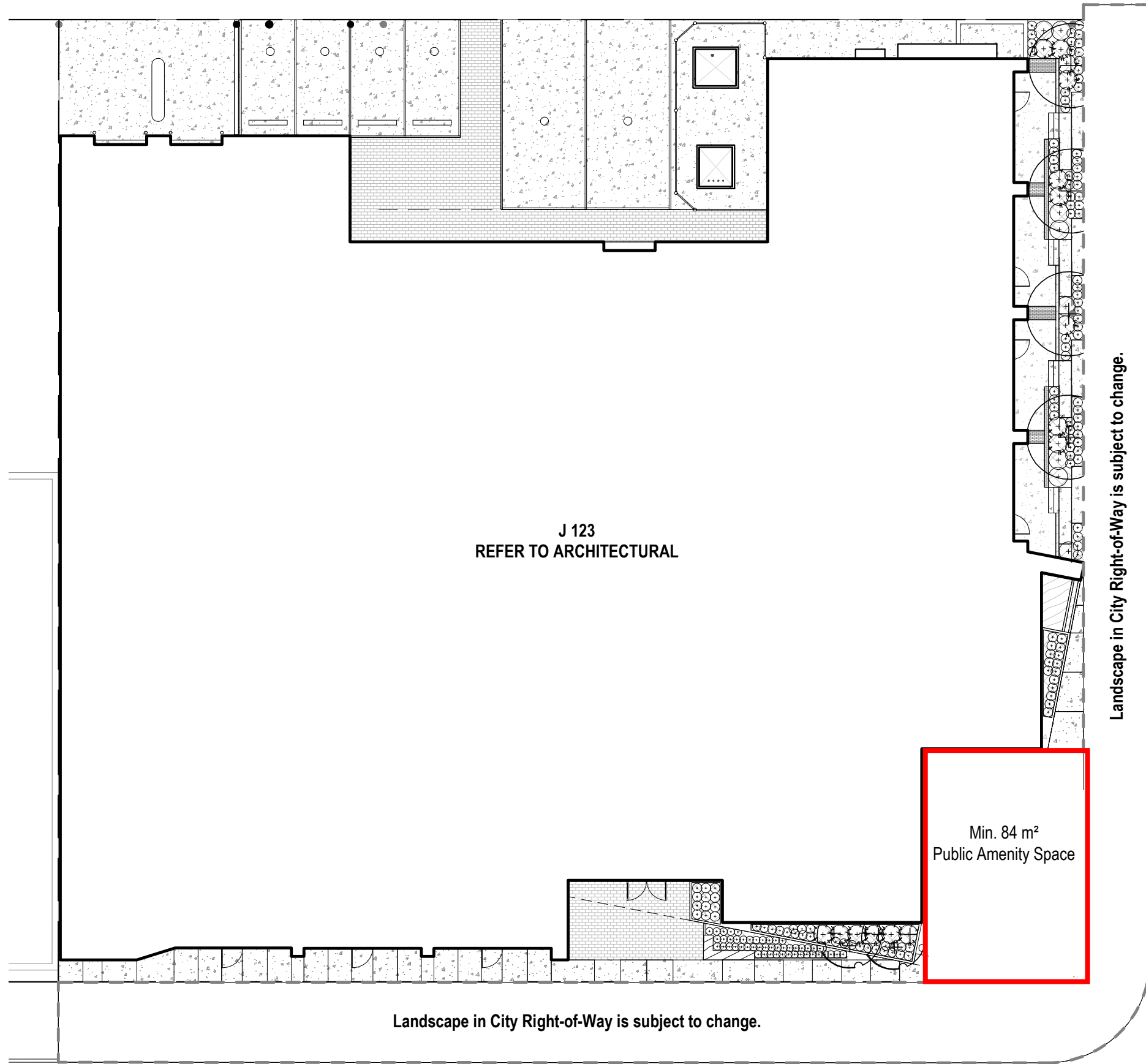
99m MAX.

10m MAX.

SOUTH ELEVATION

**Appendix 3
West Elevation**





J 123
REFER TO ARCHITECTURAL

Landscape in City Right-of-Way is subject to change.

123 STREET NW

Min. 84 m²
Public Amenity Space

Landscape in City Right-of-Way is subject to change.

JASPER AVENUE

LEGEND

	PROPERTY LINE
	DECORATIVE CONCRETE
	CONCRETE PAVER
	MULCH
	CONCRETE BENCH WITH WOOD TOP
	TREE GRATE
	PROPOSED SHRUBS
	PROPOSED TREES
	GENERAL AREA OF PUBLIC ACCESS EASEMENT

Appendix 4 Conceptual Landscape Plan